

Site Plan Instructions



MID-WEST
PLANNING
DISTRICT

1-888-919-1740
midwestplanning.ca

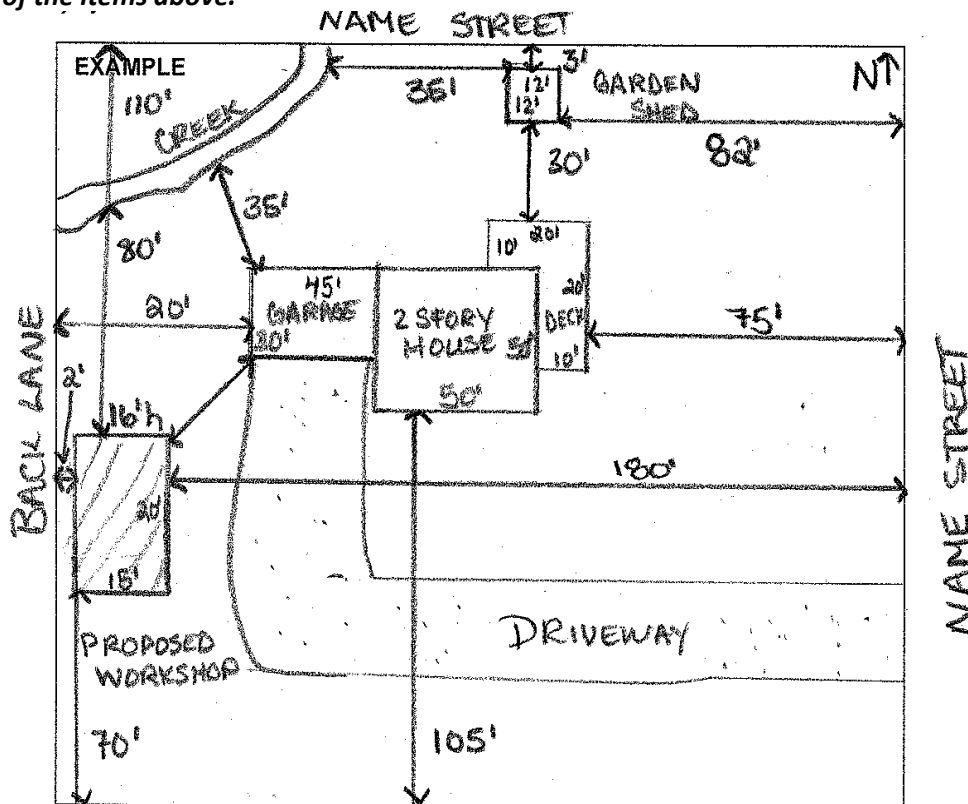
If your Site Plan is included in your Building Plans, please disregard this form.

Please use this checklist and example to create your site plan on the following page.

Please Indicate the following in the box provided or supply a separate site plan document that has all the below items labelled but include the signed Site Plan Drawing and indicate the name of the separate document.

- An arrow and N indicating the North direction.
- Property Lines.
- Street or Road names adjacent to property lines (include back lanes).
- Location of any bodies of water (creek, lake, pond, slough, dugout, etc.) and the distances for the proposed building/structure to those bodies of water.
- The location of swales, culverts, retaining walls, embankments, catch basins and other man-made or natural features on or adjacent to the site
- Wells, septic tanks, septic fields or ejectors and distances to the proposed structure/building.
- Access onto the property (Driveway / Laneway / Approach).
- The location and dimensions (footprint) of all buildings/structures (existing & proposed), indicating second story, decks, attached garage/carports or lean-tos.
- Label the use of each building/structure (e.g. Storage shed, house, shop, garage, woodshed, garden shed, lean-to, grain bins, tower, solar array, pool, hot tub, etc.). Clearly label the proposed building/structure to differentiate it from the existing buildings/structures.
- The height of the proposed building/structure.
- Distance between proposed & existing buildings.
- Distance to each property line from the proposed building/structure, called a setback.
- Indicate where parking will be available and if a parking lot area is proposed, mark the individual space, aisle(s), entrance(s)/exit(s), accessible and loading space dimensions.
- If there is a significant slope to your land and you have nearby neighbors, show slope and the pattern of water runoff.
- 100- and 200-year floodplain line if applicable

Note the site plan does not need to be to scale, but shall be accurate. It can be hand drawn. If the property is on a ¼ section, you can do a "zoomed in" view of the area being proposed, but it needs to show enough of the property to the include any of the items above.



Site Plan Drawing



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Please draw a site plan depicting your property and proposal as instructed on the previous page.

Property Information

Oakview Hamiota Prairie View Ellice-Archie **Roll Number:** _____
Civic Address: Number _____ Street/Road _____ Town _____
Urban: Lot _____ Block _____ Plan _____ **Rural:** NW SW NE SE Section _____ Township _____ Range _____ W
Proposed Building Height: _____ ft.
Front Setback: _____ ft. **Rear Setback:** _____ ft. **Right Setback:** _____ ft. **Left Setback:** _____ ft.

Declaration: The above information is hereby certified to be true and correct and by signing hereby assumes all liabilities and surcharges applicable if violations are incurred for supplying false information.

Applicant (print name) _____ **Signature** _____ **Date** _____

Landowner (print name) _____ **Signature** _____ **Date** _____