

Deck Permit Application



**MID-WEST
PLANNING
DISTRICT**

1-888-919-1740
midwestplanning.ca

Property Information

Oakview Hamiota Prairie View Ellice-Archie **Roll Number:** _____
Civic Address: Number _____ Street/Road _____ Town _____
Urban: Lot _____ Block _____ Plan _____ **Rural:** NW SW NE SE Section _____ Township _____ Range _____ W
Frontage (ft): _____ **Total Property Area:** _____ **Lot Consolidated on Land Title:** No Yes

Proposed Deck Information

***Project Value:** \$ _____ Project Value means the total monetary value of the completed cost including all construction, material, & labour costs.

Attached Deck Detached Deck Covered Deck/Engineered Plans

***Dimensions:** Width _____ Length _____ Height _____ (measured from the finished grade up to the surface of deck floor)

***Proposed Start:** Day _____ Month _____ Year _____

If you have more information than will fit in the space provided, please add sheets to the application.

Covered decks require engineered plans.

If engineered plans are provided, then only fill out the "Items to be added to the deck", "Site Plan", "Contact Information", and "Declaration" sections.

Foundation:

Concrete deck blocks **Description & size:** _____
 Concrete piers
 Concrete piles
 Screw Piles **Size, Depth & Certification:** _____

Materials to be used and location used:

Pressure Treated (PWF grade) **Location:** _____
 Cedar-tone (deck-grade treatment) **Location:** _____
 Pre-manufactured composite decking **Location:** _____
 Other: _____ **Location:** _____

End cut preservative to be used: _____

Beam(s):

2x6 #beams: _____ #Plys _____
 2x8 #beams: _____ #Plys _____
 2x10 #beams: _____ #Plys _____
 Other: _____

Joists:

2x6 @ _____ Inch on center
 2x8 @ _____ Inch on center
 2x10 @ _____ Inch on center
 Other: _____

Posts:

4x4 Other: _____
of rows: _____
Span between posts (o/c): _____
Construction description & material: _____

Ledger: (attached to the building)

Not Applicable

Description of ledger: (fastening, flashing, protection at building, description of material used, hanger description) _____

Guardrails:

Not Applicable

Material: Wood Metal Other: _____

Height: 36" 42" Other: _____

(Spacing of balusters must be less than 4")
(cannot be climbable)

Items to be added to the deck: Hot Tub Pergola Gazebo Pool Not Applicable

Description: _____

Stairs: Not Applicable

Stair Width: _____ in. **Stringers:** 2x10 Metal

of Risers: _____ **Riser Height:** _____ in.

Tread Depth (Run + Nosing): _____ in.
Treads constructed of: 2x6 2x8 2x10 Other: _____

Ramp(s): Not Applicable

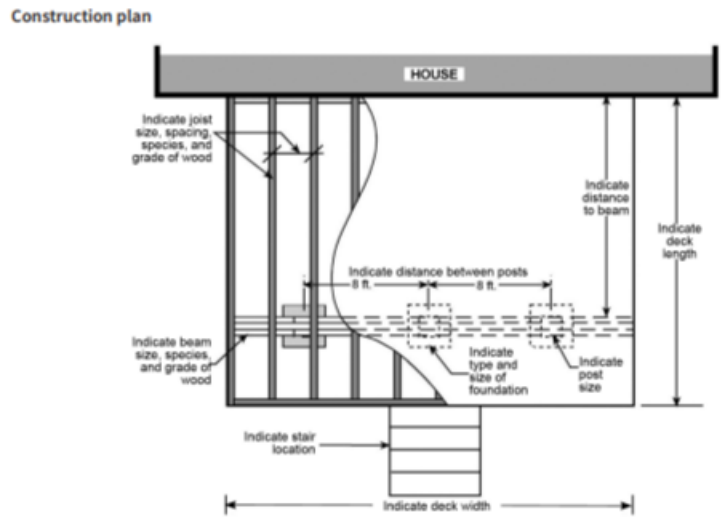
Pedestrian (Slope: 1 in 10) Barrier Free (Slope: 1 in 12)
 Construction plans supplied

Handrails: (required where 3+ risers or a ramp) Not Applicable

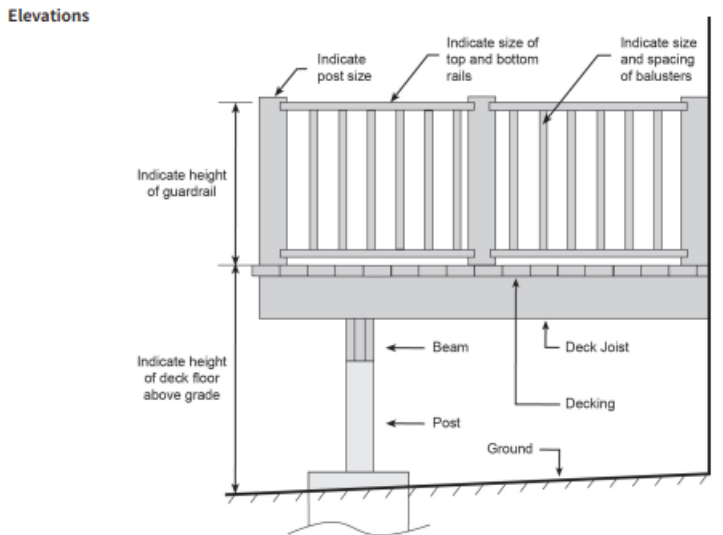
Handrail Height: _____ in.
Description: _____

Deck Drawings: Please draw an overhead and profile view of the spacing of the building materials. (See below drawing for information you need to provide.) Add additional drawings or paper if there is not enough space provided.

Construction plan (overhead view):



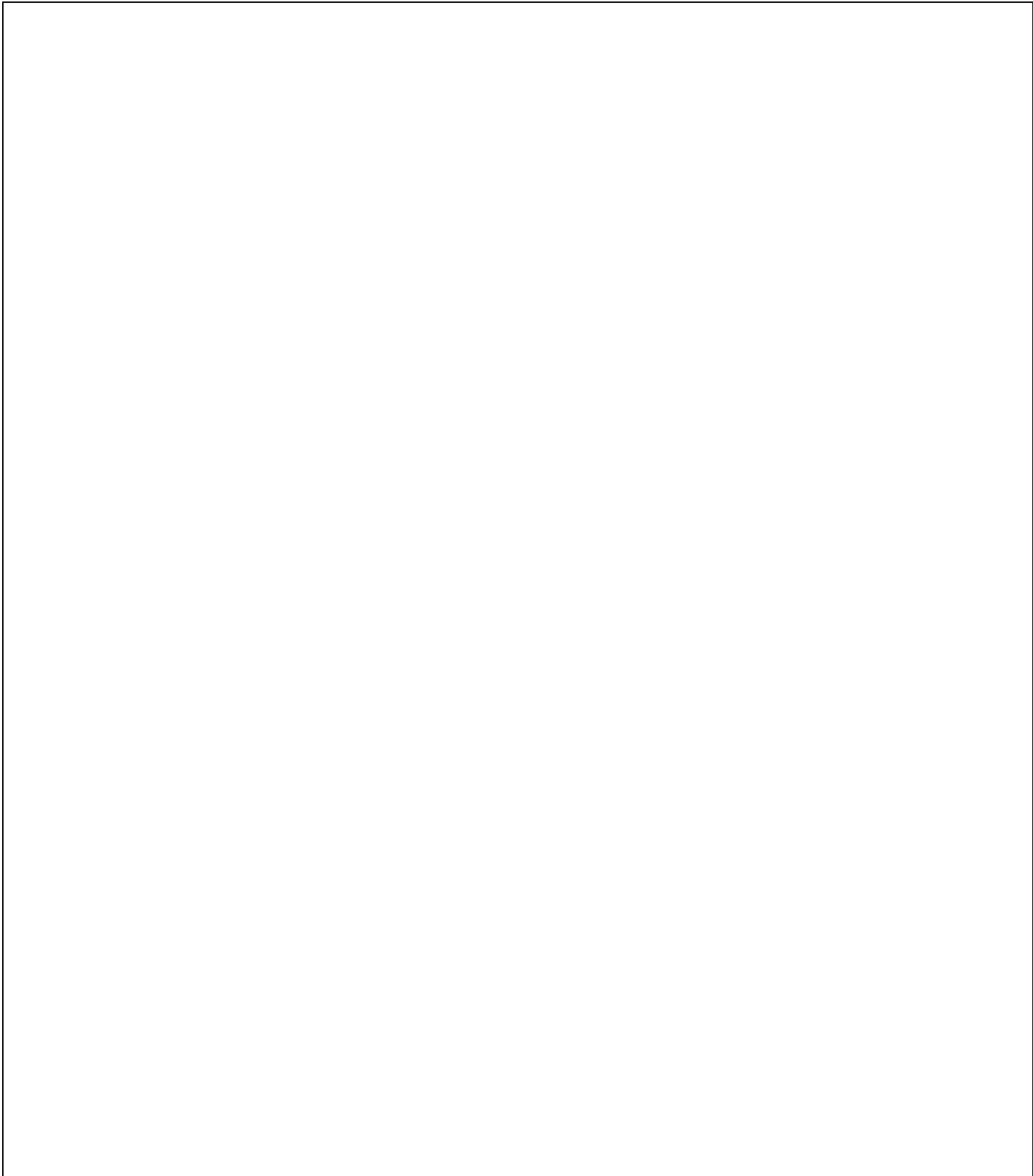
Elevation (profile view):



Site Plan

Please draw a site plan depicting your property and proposal as instructed in the Appendix: Site Plan Instructions.
If your Site Plan is included in your Building Plans, please disregard this section.

Front Setback: _____ ft. **Rear Setback:** _____ ft. **Right Setback:** _____ ft. **Left Setback:** _____ ft.



Contact Information

*Applicant Name _____ Company Name _____
*Mailing Address _____ Town/City _____ Postal Code _____
*Phone Number _____ *Email Address _____

*Registered Landowner(s) _____ Same as applicant
Contact Name (if Company Owned) _____
*Mailing Address _____ Town/City _____ Postal Code _____
*Phone Number _____ *Email Address _____

*Builder Company _____ Contact Name _____ Same as applicant
Mailing Address _____ Town/City _____ Postal Code _____
*Phone Number _____ *Email Address _____

Additional Information Provided with this application:

Note: A survey may be required for new construction. Some projects require the stamp/seal of a professional engineer within one year of the completed application date. Other requirements may be applicable.

Company ownership Land title Survey/BLC Other: _____

Declaration

I acknowledge that:

- 1) All statements and representations contained in this application for permit and the plans and specifications are correct, accurate, and adhere to any applicable legislation, by-laws, codes, and standards.
- 2) The issuance of a permit by the Mid-West Planning District does not waive, amend, or change any applicable by-laws or requirements contained in any other applicable legislation.
- 3) Any unauthorized changes from the plans and specifications or building location as specified in this application **shall** void the permit.
- 4) The Owner and Applicant are responsible for obtaining any instruments registered on title and abiding by them.
- 5) I waive the rights of action against the Mid-West Planning District arising from this application and any permit issued. A permit shall expire if work authorized is not commenced within 6 months or authorized work is suspended for 6 months.
- 6) For administrative purposes, where information is missing or required to be included, authorization is granted to add information where required to complete this application.
- 7) The personal information I am providing is being collected under the authority of The Planning Act and will be used for the purpose of approving this application. It is protected by the Protection of Privacy provisions of The Freedom of Information and Protection of Privacy Act.

Applicant:

(print name) _____ Signature _____ Date _____

Landowner:

(print name) _____ Signature _____ Date _____

Methods of application submission:

Online application: https://midwestplanning.ca/portal_login/

Email forms to: devofficer@midwestplanning.ca

Mail forms to: Mid-West Planning District, Box 96, Miniota, MB R0M 1M0

Drop off forms at: Mid-West Planning District, 111 Sarah Avenue, Basement, Miniota, MB

Fees will be determined after receiving a completed application and are payable by cash, cheque, or e-transfer to devofficer@midwestplanning.ca

Appendix: Site Plan Instructions

Please use this checklist and example to create your site plan in the Site Plan section.
Do not include this instruction page in your application package sent to Mid-West Planning District.

Please Indicate the following in the box provided or supply a separate site plan document that has all the below items, indicate the name of the separate document in the box provided in the Site Plan section and write in the setback distances.

- An arrow and N indicating the North direction.
- Property Lines.
- Street or Road names adjacent to property lines (include back lanes).
- Location of any bodies of water (creek, lake, pond, slough, dugout, etc.) and the distances for the proposed building/structure to those bodies of water.
- The location of swales, culverts, retaining walls, embankments, catch basins and other man-made or natural features on or adjacent to the site
- Wells, septic tanks, septic fields or ejectors and distances to the proposed structure/building.
- Access onto the property (Driveway / Laneway / Approach).
- The location and dimensions (footprint) of all buildings/structures (existing & proposed), indicating second story, decks, attached garage/carports or lean-tos.
- Label the use of each building/structure (e.g. Storage shed, house, shop, garage, woodshed, garden shed, lean-to, grain bins, tower, solar array, pool, hot tub, etc.). Clearly label the proposed building/structure to differentiate it from the existing buildings/structures.
- The height of the proposed building/structure.
- Distance between proposed & existing buildings.
- Distance to each property line from the proposed building/structure, called a setback.
- Indicate where parking will be available and if a parking lot area is proposed, mark the individual space, aisle(s), entrance(s)/exit(s), accessible and loading space dimensions.
- If there is a significant slope to your land and you have nearby neighbors, show slope and the pattern of water runoff.
- 100- and 200-year floodplain line if applicable

Note the site plan does not need to be to scale, but placement in relation to other objects and measurements shall be accurate.

It can be hand drawn as shown here.

If the property is on a ¼ section, you can do a "zoomed in" view of the area being proposed, but it needs to show enough of the property to include any of the items above.

